

# **Facility Condition Assessment Reports**

**Facility:** \Abandoned\Pine Valley School  
**Address:** 16535 Hosston Rodessa Road, Rodessa, LA 71044**Attributes:**  
\*\*\*None\*\*\***General Information:**

<b>Function:</b>	Abandoned	<b>Year Built:</b>	1956
<b>Gross Area:</b>	30,802 S.F.	<b>Last Renovation:</b>	

**Facility Description:**

The Pine Valley school building is located at 16535 Hosston Rodessa Road in Rodessa, Louisiana. The school was originally built in 1956 and was in operation as a public school until it was closed in 1987. The school property includes the main building and site systems. The school building is 30,802 SF and the site is approximately 13.15 acres. As part of the Comprehensive Facility Assessment, the Caddo Parish School Board tasked Parsons to conduct a visual condition assessment of the building and site, determine their physical condition, and make recommendations on either renovating or demolishing the school. This report provides a description of the building and site systems, summarizes their physical condition, and includes Parsons' recommendation for future actions.

**BUILDING****Exterior Envelope and Roof Systems:**

The building is a 1-story masonry building and is set on standard concrete foundations and slab on grade. Visible sections of the foundation and concrete slab were found to be in fair condition. The exterior walls are constructed of concrete masonry unit blocks with a brick veneer. Several areas of the exterior walls have missing, cracked, or broken masonry, deteriorated mortar joints, and some wall sections have settled. The exterior walls are in overall poor condition. Exterior windows are a combination of fixed and operating steel units. Many of the exterior windows are broken or missing and the remaining components have deteriorated beyond repair and are in poor condition. The exterior doors are a combination of either wood or steel units and are set on either wood or steel frames. Like the exterior windows, the exterior doors are broken or missing and are beyond repair. The roof is constructed of steel joists with a composite decking material and is covered with what appears to be remnants of a built-up roof covering. The steel roof joists are corroded with significant areas of pitting and loss of base metal throughout. Some of the joists have collapsed and other sections have been damaged by vandalism. Some areas of the roof deck have collapsed or are missing. Remaining sections of the roof deck are decayed and unstable. Large sections of the roof covering are missing or have failed and remaining sections are deteriorated beyond repair. The roof structure and covering are in poor condition and beyond repair. While the concrete foundation and slab are in fair condition and the exterior walls could conceivably be repaired, the exterior windows and doors, roof structure and roof coverings are beyond repair. Overall the exterior envelope and roof of the building are beyond economic repair or renovation. Demolition and removal of the building are needed and recommended.

**Interior Systems:**

The interior floor finishes appear to be a combination and remnants of vinyl tile, ceramic tile, and carpet covering the concrete floor slab. The floor finishes are damaged and deteriorated beyond repair and are in poor condition. Interior wall partitions are constructed of a combination of concrete masonry and wood. Interior wall finishes are a combination of ceramic wall tile and painted masonry or gypsum board. Large sections of the interior wall partitions have been damaged by vandalism and are either missing, have impact damage, or have collapsed entirely leaving the interior of the building unsafe. The interior wall partitions are damaged beyond repair. Sections of remaining interior wall finishes are stained, marred, and covered with graffiti. The interior wall finishes are in poor condition and are damaged and deteriorated beyond repair. The interior ceilings are a combination of suspended acoustical tile, painted gypsum board, and mineral fiber tile. Large sections of the interior ceilings have collapsed throughout the building and the entire ceiling system has been destroyed making entry into the building unsafe. The interior ceilings are in poor condition and are damaged beyond repair. Interior fittings in the building such as the restroom partitions and accessories, lockers, and blackboards are missing, damaged, or deteriorated. Many of these components are damaged and deteriorated beyond recognition and are beyond repair. Overall, the interior of the building is in poor condition and it is unsafe to enter or occupy the building. The interior building systems are damaged and deteriorated beyond repair. Demolition and removal of these systems are needed and recommended.

**SERVICE SYSTEMS****Plumbing:**

The plumbing fixtures, water distribution, and sanitary systems are inoperable and unsafe. The plumbing system is damaged and deteriorated beyond economical repair or renovation. Demolition and removal of the system are needed and recommended.

**Heating and Ventilation:**

The heating and ventilation systems are inoperable and unsafe. The school did not have central air conditioning. Access to the attic mounted equipment is by ceiling pull down and folding stairs that are broken and unsafe. Much of the system and components have been removed or have been abandoned in place and have not been in service for many years. The equipment is worn, damaged, or deteriorated beyond economical repair or renovation. Demolition and removal of these systems are needed and recommended.

**Electrical:**

The electrical systems, including the service and distribution, lighting and branch wiring, and security systems, are inoperable and unsafe. These systems have not been in operation or used in many years and should not be reenergized. These systems and their components have been vandalized and are damaged and deteriorated beyond economical repair. Demolition and removal of these systems are needed and recommended.

**Equipment and Fixed Furnishing:**

Equipment and fixed furnishings such as the remnants of the commercial kitchen equipment, counters, and cabinets are damaged and unserviceable. Little remains of the original equipment and furnishings and what does remain have deteriorated. These systems are beyond economical repair or renovation. Demolition and removal are needed and recommended.

**COVERED WALKWAYS**

The covered walkways are constructed of steel columns, roof joists, and a metal deck which is covered with the remains of what appears to be built-up roof coverings. The walkways are damaged and deteriorated beyond economical repair. Demolition and removal of the walkways are needed and recommended.

**SITE**

The school site is approximately 13.15 acres. The site includes remnants of concrete and asphalt paved roads and parking, concrete sidewalks, metal fencing, retaining walls, severely overgrown landscaping, and the remains of the water, sanitary, and electrical utilities. Paved surfaces are cracked and damaged with large areas of heaving, settling and potholes, and some hard surface sections have reverted to their natural aggregate material. Fencing and retaining walls are damaged and deteriorated. Water, sanitary, and electrical systems are inoperable and unsafe. All paved surfaces, fencing, retaining walls, landscaping and water, sanitary, and electrical systems throughout the site are damaged and deteriorated beyond economical repair. Demolition and removal are needed and recommended.

**FINDINGS AND RECOMMENDATIONS**

The Pine Valley school building is in overall poor and unsatisfactory condition. The building and site are unsafe for entry and are not habitable or operational. A majority of the building and site systems and components are damaged, deteriorated, or worn beyond economical repair or renovation. This building and site present significant safety and liability hazards and it is recommended that the building and site be demolished and removed. Appropriate hazardous material testing of the building and site will be needed to determine the required methods of hazardous material remediation.

**Current Repair Cost: \$281,653.00**



19-Apr-2010  
West Elevation



19-Apr-2010  
North Elevation



19-Apr-2010  
East Elevation

**Facility:** \Abandoned\Pine Valley School



19-Apr-2010  
South Elevation



23-Apr-2010  
Covered Walkways



23-Apr-2010  
Exterior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail

**Facility:** \Abandoned\Pine Valley School (continued)

**Building Condition:**

System	Unit Price\$	Unit of Meas	Qty	Renewal%	Renewal\$	Life	Installed	Calc Next Renewal	Next Renewal	CI%	Deficiency\$	Replacement Value	FCI%
Total	\$0.00	S.F.	30,802	0		0	1956	1956			\$281,653		
Building Sitework		S.F.	30,802	0		0	1956	1956			\$281,653		



Facility: \Abandoned\Pine Valley School (continued)

Deficiency Sheet:

Deficiency:

Assembly: **G**  
System: **Building Sitework**  
Material: **Site Development**  
Distress: **Abandoned - Damaged Beyond Economical Repair**

Category: **Safety**  
Correction: **Demolish Building and Site Systems; 1-Story; SOG**

Note: **The building and site systems at the Pine Valley School are damaged and deteriorated beyond economical repair throughout. The building and site are unsafe and demolition and removal of the building and site systems are needed. Estimate includes demolition and removal of the building, pavements, and other site systems. Estimates for absestos testing and abatement are also included.**

Surveyor/Update: Troy Weeks  
Priority: 2  
Quantity: 30,802

Mon, 07-Jun-2010



Estimates:

Raw Cost	<b>\$234,711.24</b>
Plus or (Minus) Additional Cost	<b>\$0.00</b>
Total Estimated Amount	<b>\$234,711.24</b>

**COMET4 Caddo Parish**

1961 Midway  
Shreveport, LA 71106

COMET4 Survey Report  
**Deficiency Detail Report**

Report Date: 08 Jun 2010  
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Facility Name	Assembly	System	Material	Distress	Correction	Qty	Unit	Raw Cost	Additional Cost	Total Cost	Priority	Def. Cat.	Location / Note
Caddo Parish School District								\$234,711	\$46,942	\$281,653			
Abandoned								\$234,711	\$46,942	\$281,653			
Pine Valley School								\$234,711	\$46,942	\$281,653			
Building Systems								\$234,711	\$46,942	\$281,653			
G	Building	Site	Abandoned -	Demolish Building and		30,802	S.F.	\$234,711	\$46,942	\$281,653	Potentially	Safety	The building and site systems at the Pine Valley School are damaged and deteriorated beyond economical repair throughout. The building and site are unsafe and demolition and removal of the building and site systems are needed. Estimate includes demolition and removal of the building, pavements, and other site systems. Estimates for absestos testing and abatement are also included.
	Sitework	Development	Damaged Beyond Economical Repair	Site Systems; 1-Story; SOG							Critical-12 months		



# **Facility Condition Assessment Reports**

**Facility:** \Abandoned\79th Street School  
**Address:** 103 East 79th Street, Shreveport, LA 71106**Attributes:**  
\*\*\*None\*\*\***General Information:**

<b>Function:</b>	Abandoned	<b>Year Built:</b>	1977
<b>Gross Area:</b>	14,080 S.F.	<b>Last Renovation:</b>	

**Facility Description:**

The 79th Street Facility is located at 103 East 79th Street in Shreveport, Louisiana. The building was purchased by the Caddo Parish School Board and converted to a school in 1977 and was in operation as a public school until it was closed. The school property includes the main building and site systems. The school building is 14,080 SF and the site is approximately 2.17 acres. As part of the Comprehensive Facility Assessment, the Caddo Parish School Board tasked Parsons to conduct a visual condition assessment of the building and site, determine their physical condition, and make recommendations on either renovating or demolishing the school. This report provides a description of the building and site systems, summarizes their physical condition, and includes Parsons' recommendation for future actions.

**BUILDING****Exterior Envelope and Roof Systems:**

The building is a 1-story masonry building and is set on standard concrete foundations and slab on grade. The exterior walls are constructed of concrete masonry unit blocks with a brick veneer. The exterior walls are in overall fair condition with some damage. Exterior windows are a combination of fixed and operating steel units. Many of the exterior windows are broken or missing and the remaining components have deteriorated beyond repair and are in poor condition. The windows are covered with plywood to prevent entry. The exterior doors are a combination of either wood or steel units and are set on either wood or steel frames. Like the exterior windows, the exterior doors are beyond repair. The roof is constructed of steel joists with a composite decking material and is covered with a built-up roof covering. The roof structure and covering are in poor condition with numerous leaks and is beyond repair. While the concrete foundation and slab are in fair condition and the exterior walls could conceivably be repaired, the exterior windows and doors, roof structure, and roof coverings are beyond repair. Overall the exterior envelope and roof of the building are beyond economic repair or renovation. Demolition and removal of the building is needed and recommended.

**Interior Systems:**

The interior floor finishes appear to be a combination and remnants of vinyl and ceramic tile, carpet, and wood covering the concrete floor slab. The floor finishes are damaged and deteriorated beyond repair and are in poor condition. Interior wall partitions are constructed of a combination of concrete masonry and wood. Interior wall finishes are a combination of ceramic wall tile and painted masonry or gypsum board. The building interior has suffered significant water damage and mold as evidenced throughout the building. The interior wall partitions are damaged beyond repair. The interior wall finishes are in poor condition and are damaged and deteriorated beyond repair. The interior ceilings are a combination of suspended acoustical tile, painted gypsum board, and mineral fiber tile. The interior ceilings are in poor condition and are damaged beyond repair. Interior fittings in the building such as the restroom partitions and accessories, lockers, and blackboards are missing, damaged, or deteriorated. Many of these components are damaged and deteriorated beyond recognition and are beyond repair. Overall, the interior of the building is in poor condition and the extent of mold makes the building a health hazard to enter or occupy. The interior building systems are damaged and deteriorated beyond repair. Demolition and removal of these systems are needed and recommended.

**SERVICE SYSTEMS****Plumbing:**

The plumbing fixtures, water distribution, and sanitary systems are obsolete, inadequate and past useful life. The plumbing system is damaged and deteriorated beyond economical repair or renovation. Demolition and removal of the system is needed and recommended.

**Heating, Cooling, and Ventilation:**

Gas fired, roof mounted package units were installed and may have some salvage value. However, the units would need cleaning, sanitizing, and mold remediation would be required before these units could be returned to service. The heating, cooling and ventilation system is beyond economical repair or renovation. Demolition and removal of these systems are needed and recommended.

**Electrical:**

The electrical systems including the service and distribution, lighting and branch wiring, and security systems are obsolete, past useful life, and need to be replaced. Many fixtures have been damaged or removed. These systems and their components are damaged and deteriorated beyond economical repair. Demolition and removal of these systems are needed and recommended.

**Equipment and Fixed Furnishing:**

Equipment and fixed furnishings such as the counters and cabinets are damaged and unserviceable. These systems are beyond economical repair or renovation. Demolition and removal are needed and recommended.

**SITE**

The school site is approximately 2.17 acres. The site includes concrete and asphalt paved roads and parking and concrete sidewalks. Paved surfaces are cracked and damaged. Water, sanitary, and electrical systems are past expected useful life and need to be demolished and removed.

**FINDINGS AND RECOMMENDATIONS**

The 79th Street Facility is in overall poor and unsatisfactory condition. The facility and site are unsafe for entry and are not habitable or operational. A majority of the building and site systems and components are damaged, deteriorated, or worn beyond economical repair or renovation. This facility and site present significant safety and liability hazards and it is recommended that the building and site be demolished and removed. Appropriate hazardous material testing of the building and site will be needed to determine the required methods of hazardous material remediation.

**Current Repair Cost:** \$128,748.00



19-Apr-2010  
South Elevation



19-Apr-2010  
East Elevation



19-Apr-2010  
North Elevation



19-Apr-2010  
West Elevation



23-Apr-2010  
Exterior Detail



23-Apr-2010  
Exterior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail

**Facility:** \Abandoned\79th Street School



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail

**Facility:** \Abandoned\79th Street School (continued)

**Building Condition:**

System	Unit Price\$	Unit of Meas	Qty	Renewal%	Renewal\$	Life	Installed	Calc Next Renewal	Next Renewal	CI%	Deficiency\$	Replacement Value	FCI%
Total	\$0.00	S.F.	14,080	0		0	1977	1977			\$128,748		
Building Sitework		S.F.	14,080	0		0	1977	1977			\$128,748		



Facility: \Abandoned\79th Street School (continued)

Deficiency Sheet:

Deficiency:

Assembly: **G**  
System: **Building Sitework**  
Material: **Site Development**  
Distress: **Abandoned - Damaged Beyond Economical Repair**

Category: **Safety**  
Correction: **Demolish Building and Site Systems; 1-Story; SOG**

Note: **The building and site systems at the 79th Street School are damaged and deteriorated beyond economical repair throughout. The building and site are unsafe and demolition and removal of the building and site systems are needed. Estimate includes demolition and removal of the building, pavements, and other site systems. Estimates for absestos testing and abatement are also included.**

Surveyor/Update: Troy Weeks  
Priority: 2  
Quantity: 14,080

Mon, 07-Jun-2010



Estimates:

Raw Cost	<b>\$107,289.60</b>
Plus or (Minus) Additional Cost	<b>\$0.00</b>
Total Estimated Amount	<b>\$107,289.60</b>

**COMET4 Caddo Parish**

1961 Midway  
Shreveport, LA 71106

COMET4 Survey Report  
**Deficiency Detail Report**

Report Date: 08 Jun 2010  
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Facility Name	Assembly	System	Material	Distress	Correction	Qty	Unit	Raw Cost	Additional Cost	Total Cost	Priority	Def. Cat.	Location / Note
Caddo Parish School District								\$107,290	\$21,458	\$128,748			
Abandoned								\$107,290	\$21,458	\$128,748			
79th Street School								\$107,290	\$21,458	\$128,748			
Building Systems								\$107,290	\$21,458	\$128,748			
G	Building	Site	Abandoned -	Demolish Building and		14,080	S.F.	\$107,290	\$21,458	\$128,748	Potential	Safety	The building and site systems at
	Sitework	Development	Damaged -	Site Systems; 1-Story;							Critical-		the 79th Street School are
			Beyond	SOG							12		damaged and deteriorated beyond
			Economical								months		economical repair throughout. The
			Repair										building and site are unsafe and
													demolition and removal of the
													building and site systems are
													needed. Estimate includes
													demolition and removal of the
													building, pavements, and other
													site systems. Estimates for
													absestos testing and abatement
													are also included.



# **Facility Condition Assessment Reports**

**Facility:** \Abandoned\George Washington Carver  
**Address:** 15679 Ellerbe Road, Shreveport, LA 71115**Attributes:****Number of Floors** 1**General Information:****Function:** Abandoned**Year Built:** 1958**Gross Area:** 93,425 S.F.**Last Renovation:****Facility Description:**

The George Washington Carver school building is located at 15679 Ellerbe Road in Shreveport, Louisiana. The school was originally built in 1958 and was in operation as a public school until 1973 when it was closed. The school property includes the main building, site systems, and an elevated steel water tower. The school building is 93,425 SF and the site is approximately 80 acres. As part of the Comprehensive Facility Assessment, the Caddo Parish School Board tasked Parsons to conduct a visual condition assessment of the building, site, and water tower, determine their physical condition, and make recommendations on either renovating or demolishing the school. This report provides a description of the building and site systems, summarizes their physical condition, and includes Parsons' recommendation for future actions.

**BUILDING****Exterior Envelope and Roof Systems:**

The building is a 1-story masonry building and is set on standard concrete foundations and slab on grade. Visible sections of the foundation and concrete slab were found to be in fair condition. The exterior walls are constructed of concrete masonry unit blocks with a brick veneer. Several areas of the exterior walls have missing, cracked, or broken masonry, deteriorated mortar joints, and some wall sections have settled. The exterior walls are in overall poor condition. Exterior windows are a combination of fixed and operating steel units. Many of the exterior windows are broken or missing and the remaining components have deteriorated beyond repair and are in poor condition. The exterior doors are a combination of either wood or steel units and are set on either wood or steel frames. Like the exterior windows, the exterior doors are broken or missing and are beyond repair. The roof is constructed of steel joists with a composite decking material and is covered with what appears to be remnants of a built-up roof covering. The steel roof joists are corroded with significant areas of pitting with loss of base metal throughout. Some of the joists have collapsed and other sections have been damaged by vandalism. Large areas of the roof deck have collapsed or are missing. Remaining sections of the roof deck are decayed and unstable. Large sections of the roof covering are missing or have failed and remaining sections are deteriorated beyond repair. The roof structure and covering are in poor condition and beyond repair. While the concrete foundation and slab are in fair condition and the exterior walls could conceivably be repaired, the exterior windows and doors, roof structure, and roof coverings are beyond repair. Overall the exterior envelope and roof of the building are beyond economic repair or renovation. Demolition and removal of the building are needed and recommended.

**Interior Systems:**

The interior floor finishes appear to be a combination and remnants of vinyl and ceramic tile, carpet, and wood covering the concrete floor slab. The floor finishes are damaged and deteriorated beyond repair and are in poor condition. Interior wall partitions are constructed of a combination of concrete masonry and wood. Interior wall finishes are a combination of ceramic wall tile and painted masonry or gypsum board. Large sections of the interior wall partitions have been damaged by vandalism and are either missing, have impact damage, or have collapsed entirely leaving the interior of the building unsafe. The interior wall partitions are damaged beyond repair. Sections of remaining interior wall finishes are stained, marred, and covered with graffiti. The interior wall finishes are in poor condition and are damaged and deteriorated beyond repair. The interior ceilings are a combination of suspended acoustical tile, painted gypsum board, and mineral fiber tile. Large sections of the interior ceilings have collapsed throughout the building and the entire ceiling system has been destroyed making entry into the building unsafe. The interior ceilings are in poor condition and are damaged beyond repair. Interior fittings in the building such as the restroom partitions and accessories, lockers, and blackboards are missing, damaged, or deteriorated. Many of these components are damaged and deteriorated beyond recognition and are beyond repair. Overall, the interior of the building is in poor condition and it is unsafe to enter or occupy the building. The interior building systems are damaged and deteriorated beyond repair. Demolition and removal of these systems are needed and recommended.

**SERVICE SYSTEMS****Plumbing:**

The plumbing fixtures, water distribution, and sanitary systems are inoperable and unsafe. The plumbing system is damaged and deteriorated beyond economical repair or renovation. Demolition and removal of the system are needed and recommended.

**Heating and Ventilation:**

The heating and ventilation systems are inoperable and unsafe. The school was not air conditioned. Much of the system and components have been removed or have been abandoned in place and have not been in service for many years. The equipment is worn, damaged, or deteriorated beyond economical repair or renovation. Demolition and removal of these systems are needed and recommended.

**Electrical:**

The electrical systems, including the service and distribution, lighting and branch wiring, and security systems, are inoperable and unsafe. These systems have not been in operations or used in many years and should not be reenergized. These systems and their components are damaged and deteriorated beyond economical repair. Demolition and removal of these systems are needed and recommended.

Equipment and Fixed Furnishing:

Equipment and fixed furnishings such as the commercial kitchen equipment, counters, and cabinets are damaged and unserviceable. Little remains of the original equipment and furnishings and what does remain have deteriorated. These systems are beyond economical repair or renovation. Demolition and removal are needed and recommended.

COVERED WALKWAYS

The covered walkways are constructed of steel columns, roof joists, and a metal deck which is covered with the remains of what appears to be built-up roof coverings. Large sections of the steel joists and roof deck have collapsed throughout the walkways making them unsafe. The walkways are damaged and deteriorated beyond economical repair. Demolition and removal of the walkways are needed and recommended.

SITE

The school site is approximately 80 acres. The site includes remnants of concrete and asphalt paved roads and parking, concrete sidewalks, metal fencing, retaining walls, severely overgrown landscaping, and the remains of the water, sanitary, and electrical utilities. Paved surfaces are cracked and damaged with large areas of heaving, settling, and potholes, and some hard surface sections have reverted to their natural aggregate material. Fencing and retaining walls are damaged and deteriorated. Water, sanitary, and electrical systems are inoperable and unsafe. All paved surfaces, fencing, retaining walls, landscaping and water, sanitary, and electrical systems throughout the site are damaged and deteriorated beyond economical repair. Demolition and removal are needed and recommended.

WATER TOWER

Located on the site is an elevated steel water tower. The water tower appears to be original 1958 construction and was likely a part of the school's domestic water system. The tower has been abandoned and unused for many years. The tower is damaged by severe corrosion with pitting and loss of some base metal to both the structure and tank; the tank and water systems are unserviceable. The tower and tank are damaged and deteriorated beyond economical repair and present a significant safety and liability hazard. Demolition and removal of the water tower and tank are needed and recommended.

FINDINGS AND RECOMMENDATIONS

The George Washington Carver school building is in overall poor and unsatisfactory condition. The building, site, and water tower are unsafe for entry and are not habitable or operational. A majority of the building and site systems and components are damaged, deteriorated, or worn beyond economical repair or renovation. This building and site present significant safety and liability hazards and it is recommended that the building, site, and water tower be demolished and removed. Appropriate hazardous material testing of the building, site, and water tower will be needed to determine the required methods of hazardous material remediation.

**Current Repair Cost: \$854,278.00**



19-Apr-2010  
North Elevation



19-Apr-2010  
East Elevation



19-Apr-2010  
South Elevation

**Facility:** \Abandoned\George Washington Carver



19-Apr-2010  
North Elevation



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



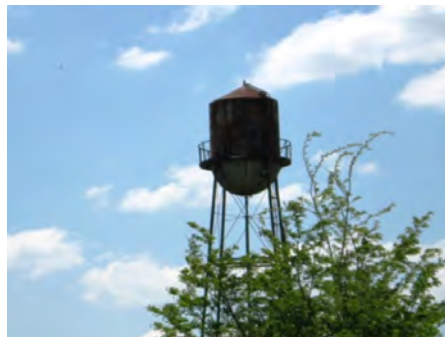
23-Apr-2010  
Interior Detail



23-Apr-2010  
Covered Walkways



23-Apr-2010  
Exterior Detail



23-Apr-2010  
Water Tower

**Facility:** \Abandoned\George Washington Carver (continued)

**Building Condition:**

System	Unit Price\$	Unit of Meas	Qty	Renewal%	Renewal\$	Life	Installed	Calc Next Renewal	Next Renewal	CI%	Deficiency\$	Replacement Value	FCI%
Total	\$0.00	S.F.	93,425	0		0	1958	1958			\$854,278		
Building Sitework		S.F.	93,425	0		0	1958	1958			\$854,278		



Facility: \Abandoned\George Washington Carver (continued)

Deficiency Sheet:

Deficiency:

Assembly: **G**  
System: **Building Sitework**  
Material: **Site Development**  
Distress: **Abandoned - Damaged Beyond Economical Repair**  
Category: **Safety**  
Correction: **Demolish Building and Site Systems; 1-Story; SOG**

Surveyor/Update: Troy Weeks  
Priority: 2  
Quantity: 93,425

Mon, 07-Jun-2010

Note: **The building and site systems at the George Washihngton Carver School are damaged and deteriorated beyond economical repair throughout. The building and site are unsafe and demolition and removal of the building and site systems are needed. Estimate includes demolition and removal of the building, pavements, other site systems, and the water tower. Estimates for absestos testing and abatement are also included.**



Estimates:

Raw Cost	<b>\$711,898.50</b>
Plus or (Minus) Additional Cost	<b>\$0.00</b>
Total Estimated Amount	<b>\$711,898.50</b>

**COMET4 Caddo Parish**

1961 Midway  
Shreveport, LA 71106

COMET4 Survey Report  
**Deficiency Detail Report**

Report Date: 08 Jun 2010  
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Facility Name	Assembly	System	Material	Distress	Correction	Qty	Unit	Raw Cost	Additional Cost	Total Cost	Priority	Def. Cat.	Location / Note
Caddo Parish School District								\$711,899	\$142,380	\$854,278			
Abandoned								\$711,899	\$142,380	\$854,278			
George Washington Carver								\$711,899	\$142,380	\$854,278			
Building Systems								\$711,899	\$142,380	\$854,278			
G	Building	Site		Abandoned -	Demolish Building and	93,425	S.F.	\$711,899	\$142,380	\$854,278	Potentially	Safety	The building and site systems at the George Washington Carver School are damaged and deteriorated beyond economical repair throughout. The building and site are unsafe and demolition and removal of the building and site systems are needed. Estimate includes demolition and removal of the building, pavements, other site systems, and the water tower. Estimates for absestos testing and abatement are also included.
	Sitework	Development		Damaged - Beyond Economical Repair	Site Systems; 1-Story; SOG						Critical-12 months		



# **Facility Condition Assessment Reports**

**Facility:** \Abandoned\Rodessa School  
**Address:** 9634 Rodessa Ida Road, Rodessa, LA 71069

**Attributes:**  
**Number of Floors** 2

**General Information:**  
**Function:** Abandoned  
**Gross Area:** 34,779 S.F.  
**Year Built:** 1938  
**Last Renovation:**

### Facility Description:

The Rodessa school building is a 2-story building located at 9634 Rodessa Ida Road in Rodessa, Louisiana. The school was originally built in 1938 and was in operation as a public school until 1973 when it was closed. The school property includes the main building and site systems. The school building is 34,779 SF and the site is approximately 5 acres. As part of the Comprehensive Facility Assessment, the Caddo Parish School Board tasked Parsons to conduct a visual condition assessment of the building and site, determine their physical condition, and make recommendations on either renovating or demolishing the school. This report provides a description of the building and site systems, summarizes their physical condition, and includes Parsons' recommendation for future actions.

#### BUILDING

##### Exterior Envelope and Roof Systems:

The building is a 2-story masonry building and is set on standard concrete foundations with piers and perimeter footing and a crawl space. Visible sections of the foundation and concrete slab were found to be in fair condition. The exterior walls are constructed of concrete masonry unit blocks with a brick veneer. Several areas of the exterior walls have deteriorated mortar joints. The exterior walls are in overall fair condition. Exterior windows have wood frames with operable lites. Most of the exterior windows are broken or missing and the remaining components have deteriorated beyond repair and are in poor condition. The exterior doors are wood and are set on wood frames. Like the exterior windows, the exterior doors are beyond repair. The roof is constructed of concrete T panels. Roof covering is a built-up system with numerous leaks. Large sections of the roof covering are missing or have failed and remaining sections are deteriorated beyond repair. The roof structure and covering are in poor condition and beyond repair. While the concrete foundation is in fair condition and the exterior walls could conceivably be repaired, the exterior windows and doors, roof structure and roof coverings are beyond repair. Overall the exterior envelope and roof of the building are beyond economic repair or renovation. Demolition and removal of the building is needed and recommended.

##### Interior Systems:

The interior floor finishes appear to be a combination and remnants of vinyl and ceramic tile, carpet, and wood covering the floor deck and construction. The floor finishes are damaged and deteriorated beyond repair and are in poor condition. Interior wall partitions are constructed of a combination of concrete masonry and wood. Interior wall finishes are a combination of ceramic wall tile and painted masonry or gypsum board. Large sections of the interior wall partitions have been damaged by vandalism and are either missing, have impact damage, or have collapsed entirely leaving the interior of the building unsafe. The interior wall partitions are damaged beyond repair. Sections of remaining interior wall finishes are stained, marred, and covered with graffiti. The interior wall finishes are in poor condition and are damaged and deteriorated beyond repair. The interior ceilings are a combination of plaster, painted gypsum board, and mineral fiber tile. Large sections of the interior ceilings have collapsed throughout the building and the entire ceiling system has been destroyed making entry into the building unsafe. The interior ceilings are in poor condition and are damaged beyond repair. Interior fittings in the building such as the restroom partitions and accessories, lockers, and blackboards are missing, damaged, or deteriorated. Many of these components are damaged and deteriorated beyond recognition and are beyond repair. Overall, the interior of the building is in poor condition and it is unsafe to enter or occupy the building. The interior building systems are damaged and deteriorated beyond repair. Demolition and removal of these systems are needed and recommended.

#### SERVICE SYSTEMS

##### Plumbing:

The plumbing fixtures, water distribution, and sanitary systems are inoperable and unsafe. The plumbing system is damaged and deteriorated beyond economical repair or renovation. Demolition and removal of the system are needed and recommended.

##### Heating and Ventilation:

The heating and ventilation systems are inoperable and unsafe. The school did not have central air conditioning. Much of the system and components have been removed or have been abandoned in place and have not been in service for many years. Gas unit heaters with CA vent pipes have been destroyed, vandalized, or removed. The equipment is damaged or deteriorated beyond economical repair or renovation. Demolition and removal of these systems are needed and recommended.

##### Electrical:

The electrical systems, including the service and distribution, lighting and branch wiring, and security systems, are inoperable and unsafe. These systems have not been in operations or used in many years and should not be reenergized. These systems and their components are damaged and deteriorated beyond economical repair or renovation. Demolition and removal of these systems are needed and recommended.

##### Equipment and Fixed Furnishing:

Equipment and fixed furnishings such as the commercial kitchen equipment, counters, and cabinets are damaged and unserviceable. Little remains of the original equipment and furnishings and what does remain have deteriorated. These systems are beyond economical repair or renovation, and demolition and removal are needed and recommended.

**SITE**

The school site is approximately five acres. The site includes remnants of concrete and asphalt paved roads and parking, concrete sidewalks, metal fencing, severely overgrown landscaping, and the remains of the water, sanitary, and electrical utilities. Paved surfaces are cracked and damaged with large areas of heaving, settling, and potholes, and some hard surface sections have reverted to their natural aggregate material. Fencing is damaged and deteriorated. Water, sanitary, and electrical systems are inoperable and unsafe. All paved surfaces, fencing, landscaping and water, sanitary, and electrical systems throughout the site are damaged and deteriorated beyond economical repair. Demolition and removal are needed and recommended.

**FINDINGS AND RECOMMENDATIONS**

The Rodessa school building and site are in overall poor and unsatisfactory condition. The building and site are unsafe for entry and are not habitable or operational. A majority of the building and site systems and components are damaged, deteriorated, or worn beyond economical repair or renovation. This building and site present significant safety and liability hazards and it is recommended that the building and site be demolished and removed. Appropriate hazardous material testing of the building and site will be needed to determine the required methods of hazardous material remediation.

**Current Repair Cost:** \$349,821.00



19-Apr-2010  
North Elevation



19-Apr-2010  
East Elevation



19-Apr-2010  
South Elevation



19-Apr-2010  
West Elevation



23-Apr-2010  
Exterior Detail



23-Apr-2010  
Exterior Detail

**Facility:** \Abandoned\Rodessa School



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail

Facility: \Abandoned\Rodessa School (continued)

Building Condition:

System	Unit Price\$	Unit of Meas	Qty	Renewal%	Renewal\$	Life	Installed	Calc Next Renewal	Next Renewal	CI%	Deficiency\$	Replacement Value	FCI%
Total	\$0.00	S.F.	34,779	0		0	1938	1938			\$349,821		
Building Sitework		S.F.	34,779	0		0	1938	1938			\$349,821		



Facility: \Abandoned\Rodessa School (continued)

Deficiency Sheet:

Deficiency:

Assembly: **G**  
System: **Building Sitework**  
Material: **Site Development**  
Distress: **Abandoned - Damaged Beyond Economical Repair**  
Category: **Safety**  
Correction: **Demolish Building and Site Systems; 1-Story; SOG**

Surveyor/Update: Troy Weeks  
Priority: 2  
Quantity: 34,779

Mon, 07-Jun-2010

Note: **The building and site systems at the Rodessa School are damaged and deteriorated beyond economical repair throughout. The building and site are unsafe and demolition and removal of the building and site systems are needed. Estimate includes demolition and removal of the building, pavements, and other site systems. Estimates for absestos testing and abatement are also included.**



Estimates:

	Raw Cost	<b>\$291,517.58</b>
	Plus or (Minus) Additional Cost	<b>\$0.00</b>
	Total Estimated Amount	<b>\$291,517.58</b>

**COMET4 Caddo Parish**

1961 Midway  
Shreveport, LA 71106

COMET4 Survey Report  
**Deficiency Detail Report**

Report Date: 08 Jun 2010  
Page 1

Facility Name	Assembly	System	Material	Distress	Correction	Qty	Unit	Raw Cost	Additional Cost	Total Cost	Priority	Def. Cat.	Location / Note
Caddo Parish School District								\$291,518	\$58,304	\$349,821			
Abandoned								\$291,518	\$58,304	\$349,821			
Rodessa School								\$291,518	\$58,304	\$349,821			
Building Systems								\$291,518	\$58,304	\$349,821			
G	Building Sitework	Building Sitework	Site Development	Abandoned - Damaged Beyond Economical Repair	Demolish Building and Site Systems; 1-Story; SOG	34,779	S.F.	\$291,518	\$58,304	\$349,821	Potentially Critical-12 months	Safety	The building and site systems at the Rodessa School are damaged and deteriorated beyond economical repair throughout. The building and site are unsafe and demolition and removal of the building and site systems are needed. Estimate includes demolition and removal of the building, pavements, and other site systems. Estimates for absestos testing and abatement are also included.



# **Facility Condition Assessment Reports**

**Facility:** \Abandoned\Worley Observatory**Address:** Observatory Road, Shreveport, LA 71115**Attributes:****Number of Floors** 1**General Information:****Function:** Abandoned**Year Built:** 1964**Gross Area:** 2,176 S.F.**Last Renovation:****Facility Description:**

The Worley Observatory is a 1-story building located on Observatory Road, 1.2 miles north of the intersection of LA Highway 175 and Ellerbe Road in Shreveport, Louisiana. The building was constructed in 1964 and has had no renovations or additions. The building is not used for authorized school functions. The building is 2,176 SF and the site is approximately 0.17 acres. As part of the Comprehensive Facility Assessment, the Caddo Parish School Board tasked Parsons to conduct a visual condition assessment of the building and site, determine their physical condition, and make recommendations on either renovating or demolishing the school. This report provides a description of the building and site systems, summarizes their physical condition, and includes Parsons' recommendation for future actions.

**BUILDING****Exterior Envelope and Roof Systems:**

The building is a 1-story masonry building and is set on a standard concrete foundation and slab on grade. The exterior walls are constructed of concrete masonry unit blocks. The exterior walls are in overall fair condition. Exterior windows are a combination of fixed and operating steel units. The windows are obsolete, damaged, in poor condition, and beyond repair. The exterior doors are a combination of either wood or steel units and are set on either wood or steel frames. The exterior doors are obsolete, damaged, in poor condition, and beyond repair. The roof is constructed of concrete supported by the exterior walls and a steel J-beam and post structure and is covered with a built-up roof covering. The roof structure is in fair condition, but the roof covering is damaged and worn beyond repair. The observatory metal dome shows signs of aging, has reported leaks, and is in poor condition. Overall the exterior envelope and roof of the building is in poor condition and would need complete replacement. The building systems are obsolete and beyond economical repair and demolition and removal of the building are needed and recommended.

**Interior Systems:**

The interior floor finishes appear to be a painted concrete floor slab and vinyl asbestos tile. The floor finishes are damaged, deteriorated, and in poor condition. Testing for asbestos containing materials is needed. Interior wall partitions are constructed of a combination of concrete masonry and wood. Interior wall finishes are a combination of painted masonry, gypsum board, and wood paneling. The interior wall finishes are in poor condition and would need to be replaced. The interior ceilings are a combination of suspended acoustical tile and painted concrete. The interior ceilings are damaged and in poor condition, past expected useful life, and would need to be replaced. Interior fittings in the building such as the restroom partitions, accessories, and blackboards are damaged, past useful life, and need to be replaced. Overall, the interior of the building is in poor condition and beyond economical repair. Demolition and removal of these systems are needed and recommended.

**SERVICE SYSTEMS****Plumbing:**

The plumbing fixtures are aged, show wear, and need to be replaced. Water supply is from a well and pump system. Water quality and pressure are in question. Sanitary waste is provided by a septic system of unknown capacity. The system is marginally operational, but it is obsolete and beyond economical repair and should be demolished and removed.

**Heating, Cooling, and Ventilation:**

Heating is provided by a unit heater. Cooling is provided by a window unit. Ventilation is not adequate. These systems are obsolete and inadequate and should be demolished and removed.

**Electrical:**

The electrical systems, including the service and distribution, lighting and branch wiring, are original, obsolete, and would need to be replaced. Lighting is generally inadequate and light levels do not meet standards for educational use. The electrical system is marginal and beyond economical repair and should be demolished and removed.

**Equipment and Fixed Furnishing:**

Equipment and fixed furnishings such as counters and cabinets are original and are damaged, worn and obsolete, and would need to be replaced. This system is beyond economical repair and should be demolished and removed.

**SITE**

The school site is approximately 0.17 acres. The site includes unpaved parking. Landscaping is nonexistent. Electrical service is overhead and the line and entry are in poor condition. The site should be prepared for demolition of the building, cleared and re-graded.

**FINDINGS AND RECOMMENDATIONS**

The Worley Observatory will require extensive system replacement that is not economically feasible or can be justified. The building and site systems at the Worley Observatory are obsolete, damaged and deteriorated. Due to the overall deteriorated conditions, the building should not currently be used for public school purposes. This building and site present some safety and liability hazards and demolition and removal of the building and site systems should be considered. Appropriate hazardous material testing of the building and site will be needed to determine the required methods of hazardous material remediation.

**Current Repair Cost:** \$23,877.00



19-Apr-2010  
South Elevation



19-Apr-2010  
East Elevation



19-Apr-2010  
North Elevation



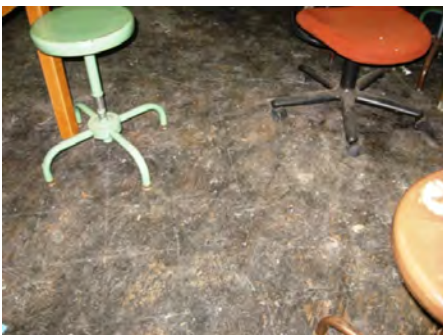
21-Apr-2010  
Southwest Elevation



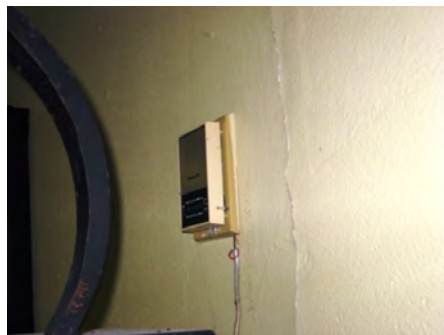
23-Apr-2010  
Exterior Detail



23-Apr-2010  
Exterior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail



23-Apr-2010  
Interior Detail

**Facility:** \Abandoned\Worley Observatory



23-Apr-2010  
Exterior Detail



23-Apr-2010  
Exterior Detail



23-Apr-2010  
Exterior Detail

**Facility:** \Abandoned\Worley Observatory (continued)

**Building Condition:**

System	Unit Price\$	Unit of Meas	Qty	Renewal%	Renewal\$	Life	Installed	Calc Next Renewal	Next Renewal	CI%	Deficiency\$	Replacement Value	FCI%
Total	\$0.00	S.F.	2,176	0		0	1964	1964			\$23,877		
Building Sitework		S.F.	2,176	0		0	1964	1964			\$23,877		



Facility: \Abandoned\Worley Observatory (continued)

Deficiency Sheet:

Deficiency:

Assembly: **G**  
System: **Building Sitework**  
Material: **Site Development**  
Distress: **Abandoned - Damaged Beyond Economical Repair**  
Category: **Safety**  
Correction: **Demolish Building and Site Systems; 1-Story; SOG**

Surveyor/Update: Troy Weeks  
Priority: 2  
Quantity: 2,176

Mon, 07-Jun-2010

Note: **The Worley Observatory will require extensive system replacement that is not economically feasible or can be justified. The building and site systems at the Worley Observatory are obsolete, damaged and deteriorated. Due to the overall deteriorated conditions the building should not currently be used for public school purposes. This building and site present some safety and liability hazards and demolition and removal of the building and site systems should be considered.**



Estimates:

Raw Cost	<b>\$19,897.34</b>
Plus or (Minus) Additional Cost	<b>\$0.00</b>
Total Estimated Amount	<b>\$19,897.34</b>

**COMET4 Caddo Parish**

1961 Midway  
Shreveport, LA 71106

COMET4 Survey Report  
**Deficiency Detail Report**

Report Date: 08 Jun 2010  
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Facility Name	Assembly	System	Material	Distress	Correction	Qty	Unit	Raw Cost	Additional Cost	Total Cost	Priority	Def. Cat.	Location / Note
Caddo Parish School District								\$19,897	\$3,979	\$23,877			
Abandoned								\$19,897	\$3,979	\$23,877			
Worley Observatory								\$19,897	\$3,979	\$23,877			
Building Systems								\$19,897	\$3,979	\$23,877			
G	Building	Site	Abandoned -	Demolish Building and		2,176	S.F.	\$19,897	\$3,979	\$23,877	Potentially	Safety	The Worley Observatory will require extensive system replacement that is not economically feasible or can be justified. The building and site systems at the Worley Observatory are obsolete, damaged and deteriorated. Due to the overall deteriorated conditions the building should not currently be used for public school purposes. This building and site present some safety and liability hazards and demolition and removal of the building and site systems should be considered.
	Sitework	Development	Damaged - Beyond Economical Repair	Site Systems; 1-Story; SOG							Critical-12 months		